

# **CHAPTER V**

## **RURAL BUILDINGS**

Revised December 2020



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## **RURAL STRUCTURES**

This section of the manual deals with rural secondary buildings as opposed to rural dwellings. Dwellings are not included, as they are classed, depreciated and calculated in exactly the same manner as urban dwellings. The objective in appraising secondary rural structures is to arrive at the value that their presence adds to the property. Their value depends upon their utility or usefulness.

This section contains photographs and descriptions of various farm buildings. Along with the descriptions and photographs are listed square foot rates to be applied according to area. To calculate, simply multiply the square foot rate by the base/adjusted area and apply depreciation and obsolescence. Add for concrete floor, if necessary.

For rural secondary buildings, classes are designated by numbers preceded by the letter "B."

Salvage value is the estimated value of a building near the end of its useful life. The life expectancy of wooden buildings is 20 years, for metal buildings 25 years. Observed condition should be considered on all structures.

## TRENCH SILOS

TRENCH SILOS(below ground)		Cost per LF of length					
Width	20	30	40	50	60	80	100
Conc. wall panels and floor sealed	\$315	\$375	\$410	\$487	\$522	\$596	\$670
Plywood or T&G walls, conc. floor	\$230	\$289	\$345	\$395	\$435	\$518	\$592
Dirt trench, plastic lined, no flooring	\$62	\$89	\$115	\$146	\$166	\$219	\$270

BUNKER SILOS (above ground)		Cost per LF of length					
Width	20	30	40	50	60	80	100
Tilt up conc. panels & precast wall supports	\$325	\$365	\$404	\$431	\$444	\$496	\$518
Poles & braces, tilt up conc. panels, conc. floor	\$235	\$264	\$289	\$315	\$334	\$365	\$399
Cantilevered poles, plywood or T&G walls, conc floor	\$200	\$235	\$260	\$285	\$310	\$345	\$375

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## CONCRETE STAVE SILO



## CONCRETE STAVE SILOS

Pre-cast Concrete Stave Walls with Steel Rod Bands, Aluminum Cone Roof, Steel Frame, Ladder, Safety Platform, Plaster Lined.

SIZE	PRICE
10 x 30	\$10,266.
10 x 40	13,572.
10 x 50	17,052.
12 x 30	10,701.
12 x 40	14,416.
12 x 50	18,183.
12 x 60	21,633.
14 x 30	12,528.
14 x 40	16,791.
14 x 50	20,706.
14 x 60	24,882.
14 x 70	28,884.
16 x 30	12,963.
16 x 40	17,226.
16 x 50	21,576.
16 x 60	25,752.
16 x 70	30,015.
16 x 80	34,278.
18 x 30	\$13,920.
18 x 40	18,531.
18 x 50	23,316.
18 x 60	27,840.
18 x 70	32,538.
18 x 80	36,975.
18 x 90	41,673.
20 x 30	15,660.
20 x 40	20,706.
20 x 50	26,100.
20 x 70	31,233.
20 x 70	36,366.
20 x 80	41,499.
20 x 90	46,606.
22 x 30	18,270.
22 x 40	24,186.
22 x 50	30,102.
22 x 60	36,279.
22 x 70	42,108.
22 x 80	48,067.
22 x 90	54,158.
24 x 50	34,173.



### Concrete Stave Silos Cont.

24 x 60	41,673.
24 x 70	49,216.
24 x 80	55,028.
24 x 90	62,205.
30 x 60	56,550.
30 x 70	65,903.
30 x 80	75,038.
30 x 90	84,390.
30 x 100	120,930.
30 x 110	133,110.
30 x 120	146,160.
30 x 130	157,470.

## PORCELAIN STEEL GLASS LINED SILOS



## PORCELAIN STEEL GLASS LINED SILOS

Glass-Lined, Double Wall Construction, Enameled Steel Panels, Walls and Roof, Concrete Foundation, Ladder, Safety Platform

SIZE	PRICE
14 x 23	\$ 33,060.
14 x 32	36,801.
14 x 41	43,718.
17 x 31	46,980.
17 x 40	51,113.
17 x 49	57,420.
20 x 28	50,025.
20 x 32	54,158.
20 x 33	57,420.
20 x 38	60,465.
20 x 41	62,640.
20 x 43	63,510.
20 x 50	70,035.
20 x 59	77,213.
20 x 68	87,870.
20 x 77	98,310.
20 x 87	110,490.
25 x 34	97,440.
25 x 42	103,530.
25 x 43	106,140.
25 x 51	119,190.
25 x 60	121,800.
25 x 69	133,980.
25 x 78	149,640.
25 x 88	163,560.
31 x 70	189,660.
31 x 80	207,060.
31 x 89	230,550.

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## Circular Grain Bins



Circular Grain Bins				
Diameter In Feet	Eave Height	Bushel Stg. Capacity	W/Out Drying Bins	With Drying Bins
15	7	1,257	\$4,181	\$6,546
15	11	1,792	\$5,843	\$8,655
15	15	2,329	\$6,986	\$10,281
15	18	2,864	\$7,952	\$11,511
18	11	2,647	\$6,546	\$9,490
18	15	3,422	\$8,128	\$11,687
18	18	4,198	\$9,226	\$13,356
18	22	4,973	\$10,720	
18	26	5,748	\$12,126	
18	33	7,299	\$15,202	
18	40	8,849	\$17,925	
18	48	10,400	\$20,562	
21	11	3,693	\$7,205	\$10,457
21	15	4,653	\$9,226	\$13,356
21	18	5,813	\$11,159	\$16,256
21	22	6,874	\$13,093	
21	26	7,934	\$14,586	
21	33	10,055	\$18,277	
21	40	12,715	\$20,562	
21	48	14,296	\$22,670	
24	11	4,949	\$8,875	\$12,829
24	15	6,344	\$10,720	\$15,817
24	18	7,739	\$13,444	\$19,507
24	22	9,134	\$15,553	
24	26	10,528	\$17,662	
24	33	13,318	\$21,001	
24	40	16,017	\$23,549	
24	48	18,897	\$25,307	
27	11	6,409	\$10,457	\$15,377
27	15	8,182	\$12,917	\$18,716
27	18	9,555	\$15,465	\$22,143
27	22	11,728	\$17,662	

Circular Grain Storage Bins Cont.				
Diameter In Feet	Eave Height	Bushel Stg. Capacity	w/out Drying Bin	With Drying Bin
27	26	13,500	\$19,946	
27	33	17,046	\$24,955	
27	40	20,591	\$27,064	
27	48	24,137	\$28,909	
30	15	10,278	\$15,729	\$22,670
30	18	12,473	\$18,541	\$26,888
30	22	14,668	\$21,352	
30	26	16,863	\$23,725	
30	33	21,252	\$28,294	
30	40	24,624	\$31,282	
30	48	30,031	\$33,566	
36	15	15,297	\$22,055	\$32,073
36	18	18,473	\$25,043	\$36,466
36	22	21,648	\$29,173	
36	26	24,823	\$32,776	
36	33	31,174	\$36,993	
36	40	37,524	\$40,947	
36	48	43,875	\$46,791	
36	59	53,400	\$55,358	
42	15	21,416	\$28,118	\$41,123
42	18	25,738	\$33,039	\$47,889
42	22	30,060	\$37,257	
42	26	34,382	\$40,244	
42	33	43,026	\$47,669	
42	40	51,670	\$56,017	
42	48	60,314	\$65,024	
42	59	73,279	\$77,016	
48	15	26,749	\$31,457	\$48,548
48	18	34,394	\$39,893	\$58,214
48	22	40,039	\$45,912	
48	26	45,684	\$51,843	
48	33	56,947	\$63,486	

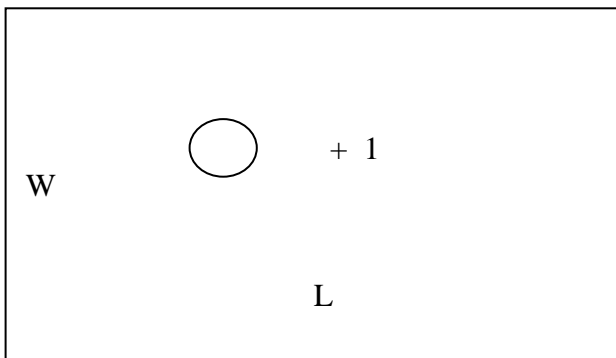
Circular Grain Storage Bins Cont.				
Diameter	Eave	Bushel	W/out	With
In Feet	Height	Stg. Capacity	Drying Bins	Drying Bins
48	40	68,264	\$75,349	
48	48	79,554	\$87,431	
48	59	96,488	\$103,687	
60	18	56,170	\$62,827	
60	26	73,810	\$81,280	
60	40	109,092	\$117,746	
60	48	126,732	\$136,199	
60	59	152,870	\$163,438	
60	64	165,536	\$173,983	
75	32	147,000	\$161,681	
75	40	176,000	\$189,799	
75	48	206,000	\$218,796	
75	59	246,000	\$258,338	
75	64	266,000	\$274,154	
90	32	221,000	\$235,492	
90	40	263,000	\$276,791	
90	48	305,000	\$317,211	
90	59	358,223	\$370,811	
105	32	306,180	\$325,998	
105	40	363,558	\$383,992	
105	48	420,936	\$440,229	
105	59	500,000	\$520,190	



# B-21 Specifications

Frame . . . . . Light rough low-grade or cull wood or log. Wide centers.  
 Roof . . . . . Light sheet metal, composition board, or roll composition on rough low-grade or cull sheathing, flat or gable.

## Open Shed



## Square Foot Rates

All	\$2.82
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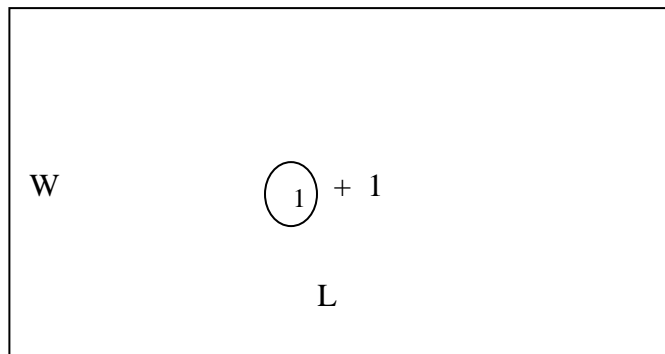


B-22  
Specifications

Frame . . . . . Rough or low-grade dimensioned wood. Nominal spacing.

Roof . . . . . Light sheet metal or roll composition or low-grade shingle on rough or low-grade dimensioned sheathing.

#### Open Shed



#### Square Foot Rates

Area	Sq. Ft. Rate
All	\$3.38

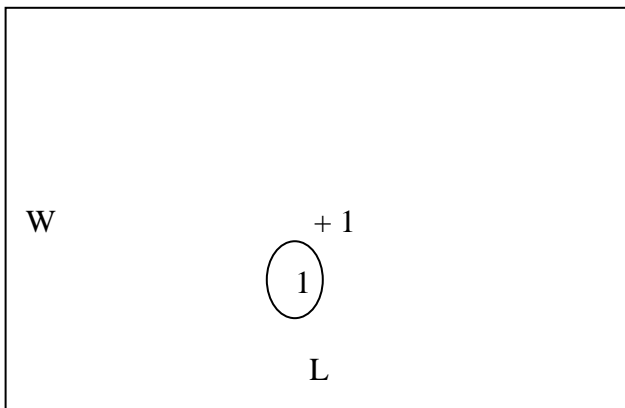
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B-23  
Specifications

Frame . . . . . Rough wood rafters and post, no walls

Roof . . . . . Medium sheet metal, wood shingles or composition shingles on sheathing.



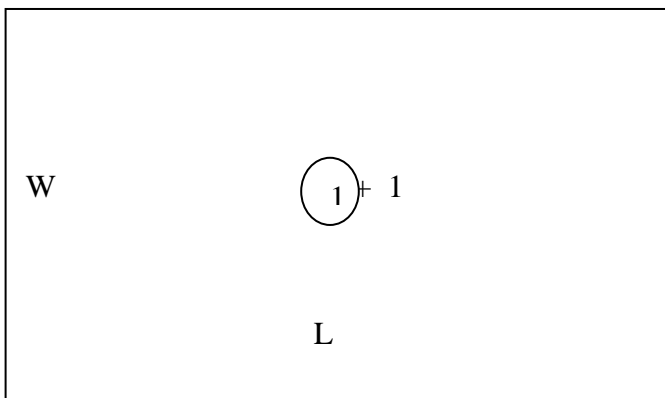
Square Foot Rates	
Area	Sq. Ft. Rate
All	\$5.05



B-24  
Specifications

Frame . . . . . Steel column, no walls  
Roof . . . . . Steel gable roof and truss  
Dirt floor, wide span

Open Shed



Square Foot Rates

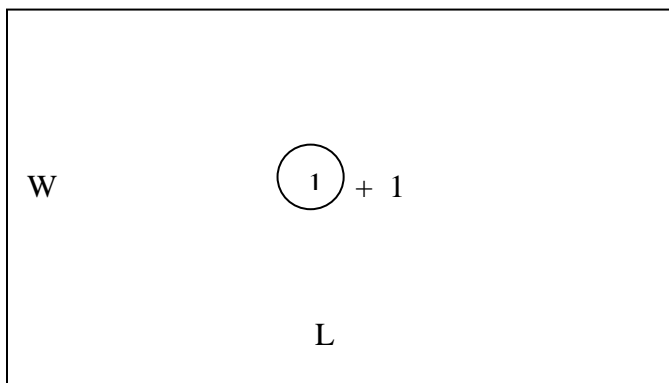
Area	Sq. Ft. Rate
All	\$6.68

For conc slab floor add from  
concrete slab price list.



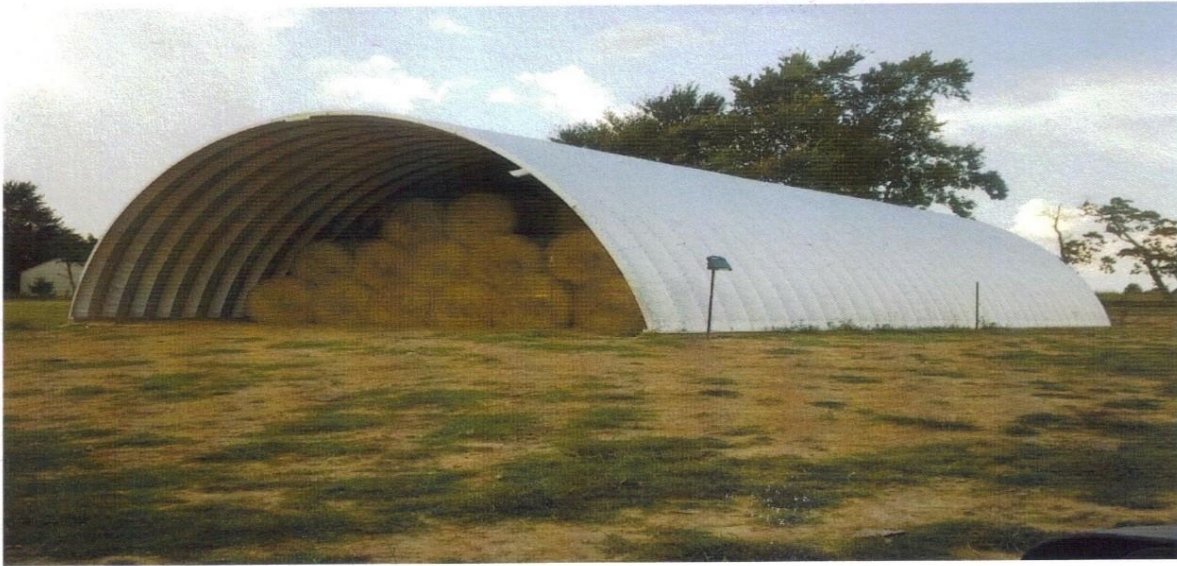
# B-25 Specifications

Frame	.....	Wood.
Walls	.....	Galvanized or coated metal.
Roof	.....	Commercial weight sheet metal.
Floor	.....	Concrete.



Size	Cost SF
100	\$12.56
200	\$10.74
400	\$8.93
600	\$8.44
800	\$8.05
1000	\$7.65
1200	\$7.50
1500	\$7.23
2000	\$6.93
2500	\$6.75
3000	\$6.63
4000	\$6.48
5000	\$6.39





Quonset Open End

B-26

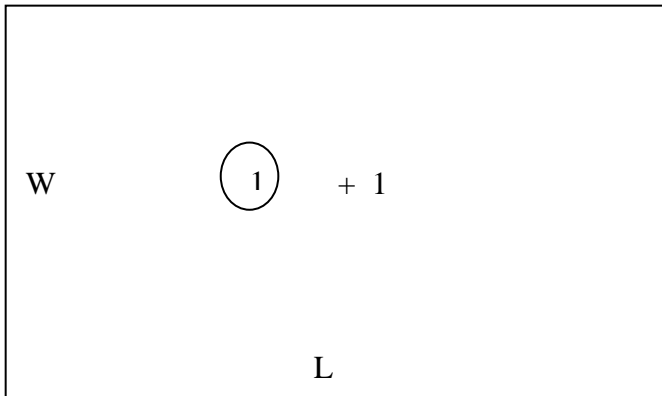
20- FOOT QUONSET OPEN ENDS	
	Sq. Ft Cost
Area	Steel Frame
500	\$9.68
750	\$8.67
1000	\$8.86
1500	\$8.58
2000	\$8.44
2500	\$8.36
3000	\$8.31
3500	\$8.26
4000	\$8.24
OVER	\$8.24

40-FOOT QUONSET OPEN ENDS	
	Sq. Ft. Cost
Area	Steel Frame
500	\$10.01
750	\$9.24
1000	\$8.47
1500	\$8.47
2000	\$7.70
2500	\$7.67
3000	\$7.56
3500	\$7.47
4000	\$7.42
OVER	\$7.42



B-33  
Specifications

Frame . . . . . Open Steel.  
 Walls . . . . . Angled walls of average grade coated steel.  
 Roof . . . . . Steel; Mitchell or Butler type or equivalent.  
 Add for extras, such as overhead doors.

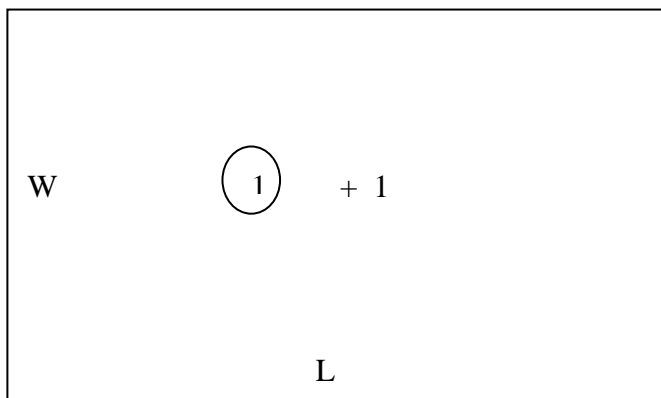


Size	Cost SF
100	\$19.44
200	\$16.63
400	\$13.82
600	\$13.07
800	\$12.47
1000	\$11.85
1200	\$11.61
1500	\$11.20
2000	\$10.73
2500	\$10.45
3000	\$10.26
4000	\$10.03
5000	\$9.89



### B-34 Specifications

Frame. . . . . Open steel.  
 Walls . . . . . Straight walls of higher quality coated steel.  
 Roof . . . . . Steel; Mitchell or Butler type or equivalent.  
                   Add for extras, such as overhead doors.  
                   If open on one side, use 70% of rate.  
                   Includes concrete floor, adequate electricity,  
                   water



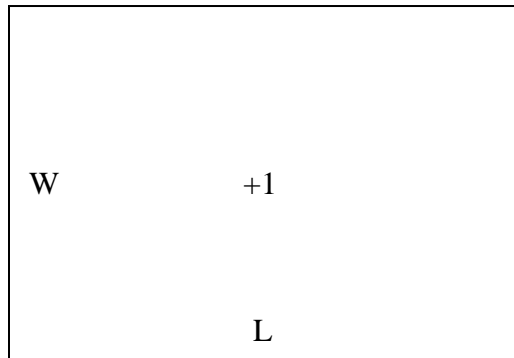
Square Foot Rates

Sq. ft.	Cost SF
100	\$16.73
200	\$14.31
400	\$12.82
600	\$12.13
800	\$11.57
1000	\$10.99
1200	\$10.77
1500	\$10.38
2000	\$9.95
2500	\$9.69
3000	\$9.52
4000	\$9.30
5000	\$9.17



### B-35 Specifications

Frame- Wood  
 Exterior Wall- Corrugated metal  
 Roof- Wood rafters, metal roof cover  
 Floor- Concrete  
 Add for Overhead doors  
 Includes concrete floor, adequate electricity & water



Size SF	Cost SF
100	\$14.44
200	\$12.35
400	\$10.26
600	\$9.71
800	\$9.26
1000	\$8.80
1200	\$8.62
1500	\$8.31
2000	\$7.96
2500	\$7.76
3000	\$7.62
4000	\$7.45
5000	\$7.34





## B41

### Specifications





Note: B-41 rates are to be applied to old existing barns that have a low contributory value to the overall property value.

Foundation . . . Piers or low continuous wall.

Frame. . . . . Light rough low-grade or cull wood or log. Wide centers.

Exterior . . . . . Rough wood board, composition board, light sheet metal or roll composition on rough low-grade or cull sheathing.

Roof . . . . . Light sheet metal, composition board, or roll composition on rough low-grade or cull sheathing.

Open All sides 			Open side Or ends 		Closed All Sides 		Square Foot Rates	
							Area	Rate
+ 1	+ 1		 + 1		+ 1		100	\$5.91
							200	\$4.80
							400	\$4.31
L	L	SHED 30 %	L	SHED 50 %	L	SHED 70 %	600	\$4.06
							800	\$3.82
							1,000	\$3.70
							1,200	\$3.44
							1,500	\$3.33
W	W		W		W		2,000	\$3.08
							2,500	\$2.83
							3,000	\$2.72
							4,000	\$2.59
							5,000	\$2.46
							6,000 -20,000	\$2.34



#### B-41 A

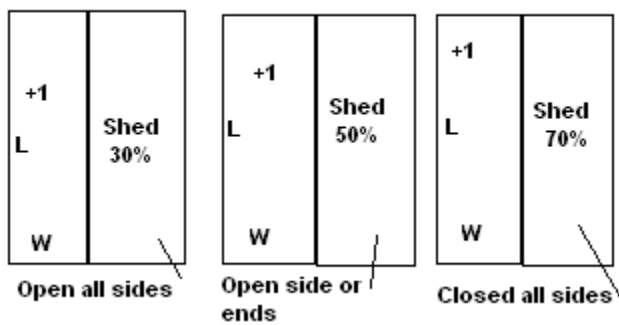
Note: Rates are to be applied to modern type constructed one story barns.

Foundation: Piers

Frame: Wood or metal pole

Exterior: Wood or heavy metal siding

Roof: Wood, heavy sheet metal



Area	Rate per SF
100	\$16.16
200	\$13.82
400	\$11.49
600	\$10.87
800	\$10.37
1000	\$9.85
1200	\$9.65
1500	\$9.31
2000	\$8.91
2500	\$8.69
3000	\$8.53
4000	\$8.34
5000	\$8.22
6000-20000	\$7.65

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B-42  
Farm Utility  
Specifications

Foundation . Piers or low continuous wall.

Frame . . . . . Rough or low-grade dimensioned wood. Nominal spacing.

Exterior . . . . . Rough board and batten, dimensioned wood board, light sheet metal, composition board, surface treated insulating board, low-cost patterned siding, or composition shingles on low-grade dimensioned sheathing.

Roof . . . . . Light sheet metal or roll composition or low-grade shingles on rough or low-grade dimensioned sheathing.

Open			Open side		Closed		Square Foot Rates	
	All sides		Or ends		All Sides		Area	Rate
(1 + 1)	(1 + 1)		(1 + 1)		(1 + 1)		100	\$16.59
							200	\$14.18
							400	\$11.79
L	L	SHED 30 %	L	SHED 50 %	L	SHED 70 %	600	\$11.15
							800	\$10.64
							1,000	\$10.11
							1,200	\$9.90
							1,500	\$9.55
W	W		W		W		2,000	\$9.15
							2,500	\$8.91
							3,000	\$8.75
							4,000	\$8.56
							5,000	\$8.44
							6,000 -20,000	\$7.85



### B-43

#### Farm Utility

#### Specifications

Foundation . Low continuous wall. Wall may include low curb.

Frame . . . . . Rough average grade or dressed grade wood - standard centers, or masonry walls.

Exterior . . . . Brick or concrete block, on average grade sheathing. Nominal door, window openings.

Roof . . . . . Medium sheet metal, wood shingles or composition shingles on sheathing.




Open All sides		Open side Or ends		Closed All Sides		Square Foot Rates	
						Area	Rate
						100	\$23.53
						200	\$20.12
						400	\$16.73
						600	\$15.82
						800	\$15.09
						1,000	\$14.34
						1,200	\$14.05
						1,500	\$13.55
						2,000	\$12.98
						2,500	\$12.65
						3,000	\$12.42
						4,000	\$12.14
						5,000	\$11.97
						6,000 -20,000	\$11.13





## B-44 Specifications

- Foundation . Continuous wall. May include low to medium curb.
- Frame . . . . . Average grade wood, close centers; light steel, or masonry walls.
- Exterior . . . . Commercial weight sheet metal, good grade patterned wood siding, concrete block and stucco.
- Roof . . . . . Commercial weight sheet metal, good wood shingle, good composition shingle on average grade sheathing.
- Floor . . . . . Concrete.
- Verticals . . . . Nominal stall and utility room partitions.
- Services . . . . Minimum electricity.

Open All sides 		Open side Or ends 		Closed All Sides 		Square Foot Rates	
Area	Rate						
100	\$35.23						
200	\$30.13						
400	\$25.04						
600	\$23.68						
800	\$22.60						
1,000	\$21.46						
1,200	\$21.03						
1,500	\$20.28						
2,000	\$19.43						
2,500	\$18.93						
3,000	\$18.59						
4,000	\$18.18						
5,000	\$17.92						
6,000 -20,000	\$16.67						



B-45  
Specifications

Foundation . Continuous wall. May include medium to high curb.  
 Frame . . . . . Masonry described below in exterior, light to medium timber, good grade - close centers, or light steel.  
 Exterior . . . . Solid brick masonry, random native stone, good grade patterned wood siding, corrugated asbestos, or surface treated metal.  
 Roof . . . . . Corrugated asbestos, gypsum plank, light concrete plank, commercial sheet plastic, concrete tile or clay tile on good grade sheathing.  
 Floor . . . . . Concrete.  
 Verticals . . . . Nominal stall and utility room partitions.  
 Services . . . . Low-level lighting, water, and minimal electricity.  
 Typically used for dairy or horse barns.

Open All sides			Open side Or ends			Closed All Sides			Square Foot Rates	
<div><div>1</div><div>+</div><div>1</div></div> <div>L</div> <div>W</div>	<div><div>1</div><div>+</div><div>1</div></div> <div>L</div> <div>W</div>	<div>SHED 30 %</div>	<div><div>1</div><div>+</div><div>1</div></div> <div>L</div> <div>W</div>	<div>SHED 50 %</div>	<div><div>1</div><div>+</div><div>1</div></div> <div>L</div> <div>W</div>	<div>SHED 70 %</div>	Area	Rate		
							100	\$74.57		
							200	\$63.77		
							400	\$53.01		
							600	\$50.14		
							800	\$47.83		
							1,000	\$45.44		
							1,200	\$44.52		
							1,500	\$42.94		
							2,000	\$41.13		
							2,500	\$40.07		
							3,000	\$39.35		
							4,000	\$38.47		
							5,000	\$37.93		
							6,000 -20,000	\$35.28		



## B-46 HORSE STABLE

LC- Metal or plywood on pole shed or low gable, dirt floor.

Avg. - Stucco or wood siding, good roofing, stalls, conc. floor in tack & feed rooms.

Good- Brick veneer, best siding, windows, and ornamentation, finished tack & feed rooms.

LT open all sides 0.3

LT open ends or side 0.5

LT closed all sides 0.7

SIZE	LC	AVG	Good
100	\$18.99	\$37.06	\$63.53
200	\$16.24	\$31.69	\$54.33
400	\$13.50	\$26.35	\$45.17
600	\$12.77	\$24.92	\$42.71
800	\$12.18	\$23.77	\$40.75
1000	\$11.57	\$22.58	\$38.71
1200	\$11.34	\$22.13	\$37.93
1500	\$10.93	\$21.34	\$36.58
2000	\$10.47	\$20.44	\$35.04
2500	\$10.20	\$19.92	\$34.14
3000	\$10.02	\$19.55	\$33.52
4000	\$9.80	\$19.12	\$32.78
5000	\$9.66	\$18.85	\$32.32
>5001	\$8.98	\$17.53	\$30.06

**WOOD TRUSS BARNS**  
**B-47**



WOOD TRUSS BARN		
10' High	Cost SF	Cost SF
Size	no FL	W/FL
30 x 20	\$10.83	\$14.23
30 x 30	\$7.67	\$11.07
40 x 30	\$7.08	\$10.48
50 x 30	\$6.33	\$9.73
12' High		
30 x 20	\$12.50	\$15.90
30 x 30	\$8.78	\$12.18
40 x 30	\$7.92	\$11.32
50 x 30	\$7.00	\$10.40



**WING BARN  
B-48**



WING BARN		
16' High	Cost SF	Cost SF
Size	no FL	w/FL
36 x 24	\$11.00	\$14.40
40 x 30	\$9.08	\$12.48
40 x 40	\$9.06	\$12.46
40 x 50	\$8.95	\$12.35
20' High	Cost SF	Cost SF
Size	no FL	w/ FL
36 x 24	\$12.15	\$15.55
40 x 30	\$11.58	\$14.98
40 x 40	\$10.56	\$13.96
40 x 50	\$9.95	\$13.35



## B-51

### Specifications

Note: Rates to be applied to old type B-51 barns that have a low contributory value.

Foundation. Piers or low continuous wall

Frame . . . . . Light rough low-grade or cull wood or log. Wide centers.

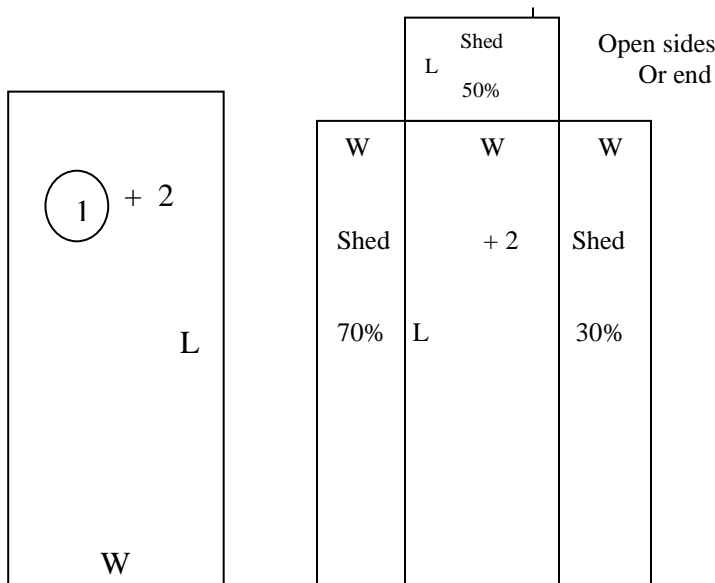
Exterior . . . . . Rough wood board, composition board, light sheet metal or roll composition on rough low-grade or cull sheathing.

Roof . . . . . Light sheet metal, composition board or roll composition on rough low-grade or cull sheathing.

Floor . . . . . None except concrete or low-grade wood board on light joist in small room used for feed, harness, implement, and utility room.

Loft . . . . . Low-grade wood board on light joist.

Verticals . . . . . Nominal stall partitions of rough wood board or slat on light rough frame.

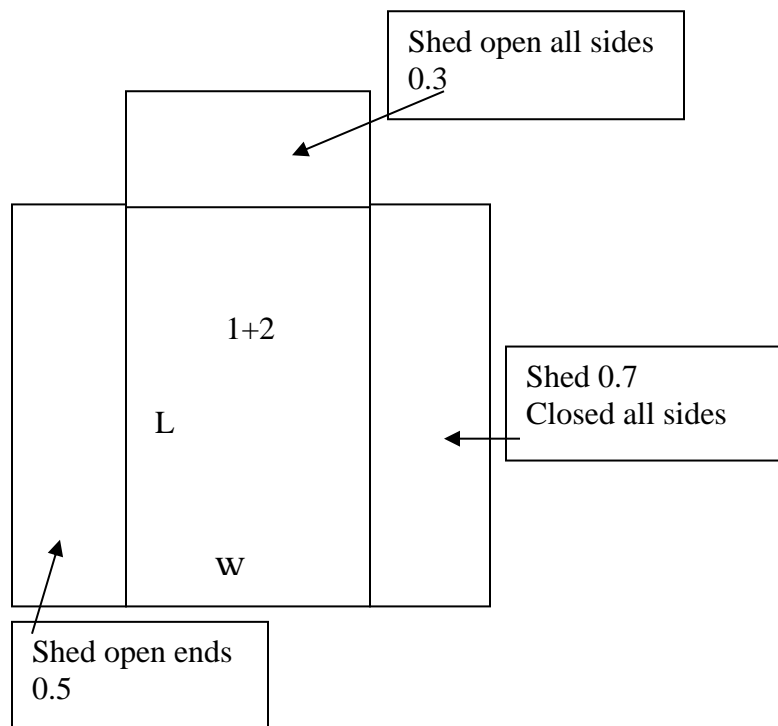


Square Foot Area	Rates Rate
100-600	\$8.01
800	\$7.39
1,000	\$7.03
1,200	\$6.90
1,500	\$6.78
2,000	\$6.52
2,500	\$6.29
3,000	\$6.03
4,000	\$5.80
5,000	\$5.42
6,000-20,000	\$5.29



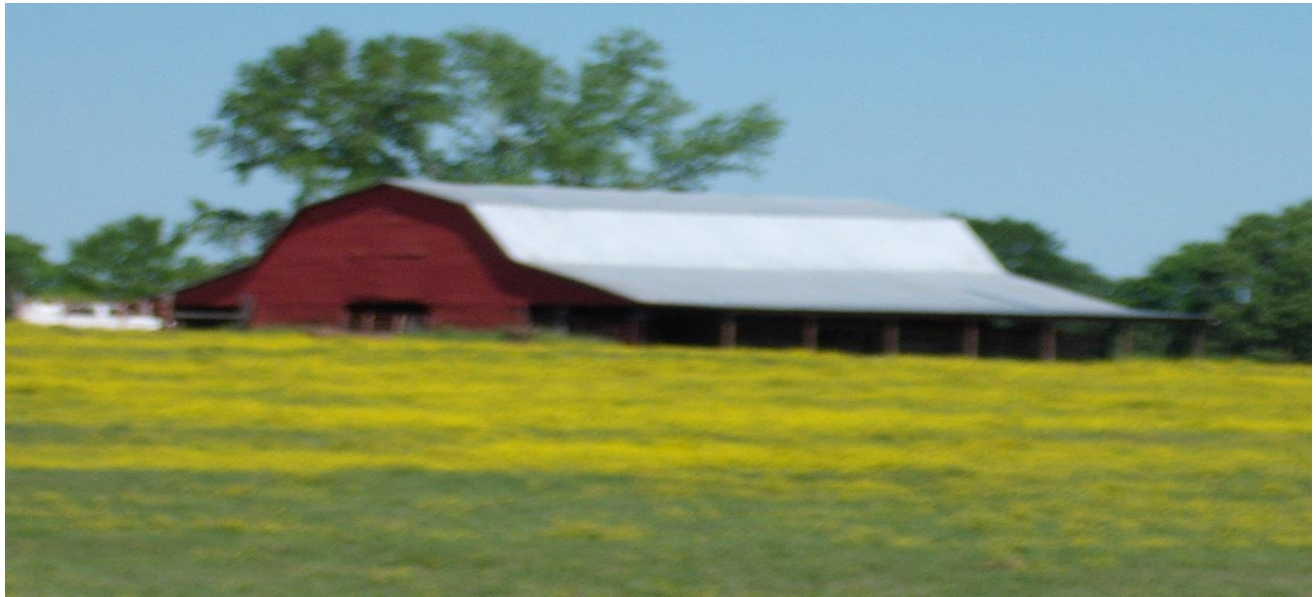
### B-51A Specifications

Pole frame, metal siding, windows, wood or metal rafters, metal roof, stalls, feed room.  
Some flooring.



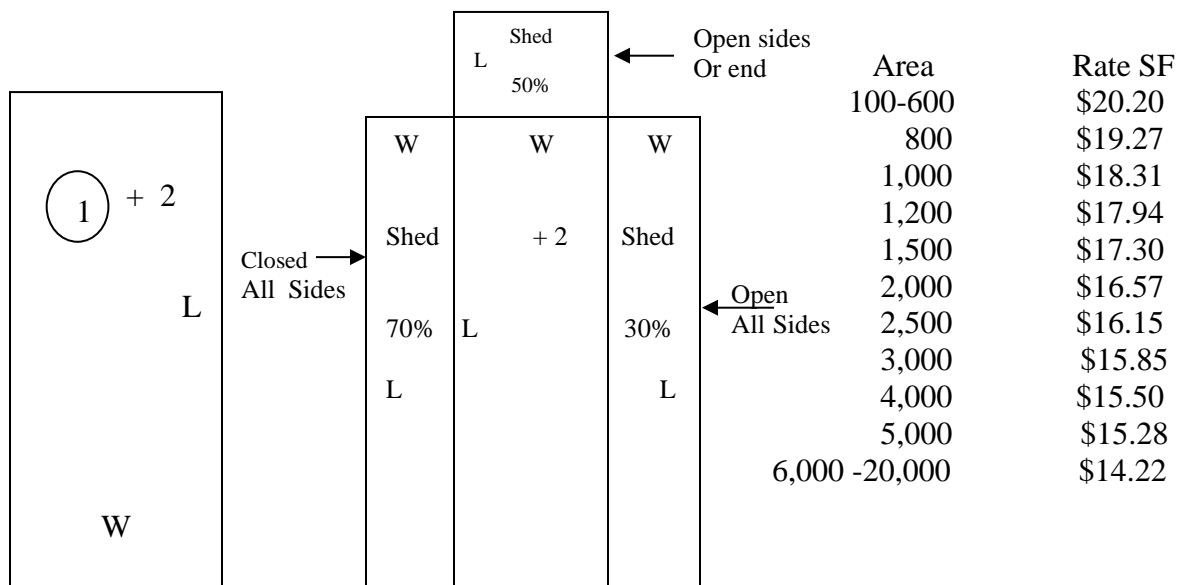
Area	Cost SF
100-600	\$18.56
800	\$17.71
1000	\$16.82
1200	\$16.48
1500	\$15.90
2000	\$15.23
2500	\$14.84
3000	\$14.57
4000	\$14.24
5000	\$14.04
6000-20000	\$13.06





B 52  
Specifications

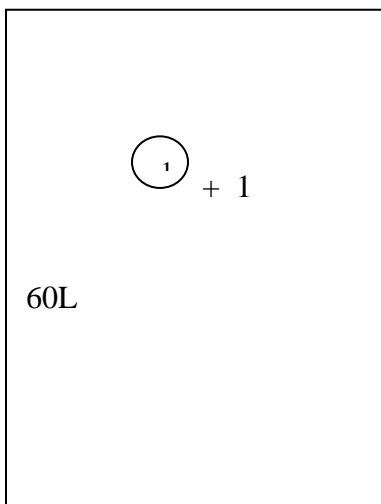
Foundation .	Low continuous wall. Wall may include low curb.
Frame . . . . .	Rough average grade or dressed grade wall - standard centers, described below in exterior.
Exterior . . . . .	Medium sheet metal, average-grade patterned wood siding, concrete block, on average grade sheathing. Nominal door, window, and openings.
Roof . . . . .	Medium sheet metal, or composition shingles on sheathing.
Floor . . . . .	None, except concrete or low-grade wood board on light joist in small room used for feed, harness, implement, and utility room.
Loft . . . . .	Low-grade wood board on wood joist on standard centers. Usually very high roof or extra floor(s).
Verticals . . .	Standard stall partitions of rough wood board or slat on light rough frame.





B-53  
Specifications

Foundation . Continuous wall. May include medium to high curb.  
 Frame . . . . . Masonry described below in exterior, light to medium timber, good grade wood – close centers, or light steel.  
 Exterior . . . . . Solid brick masonry, good grade patterned wood siding, or surface treated metal  
 Roof . . . . . Commercial sheet plastic, high ridge metal or asphalt shingles.  
 Floor . . . . . Concrete.  
 Loft . . . . . Plaster, dry wall, or stucco walls and ceiling and kick plate, if no curb.  
 Verticals . . . . . Abundant stall and utility room partitions.  
 Services . . . . . Low-level lighting and water.



Square Foot Rates	
Area	Rate
100-600	\$52.98
800	\$50.54
1,000	\$48.02
1,200	\$47.05
1,500	\$45.38
2,000	\$43.47
2,500	\$42.35
3,000	\$41.58
4,000	\$40.66
5,000	\$40.08
6,000 -20,000	\$37.29



# B-71 Specifications

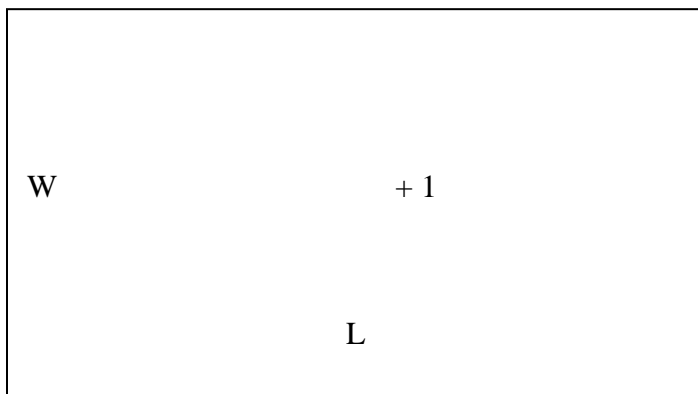
Foundation . Piers.

Frame . . . . . Light rough low-grade wood. Wide centers.

Exterior . . . . . Rough wood board, composition board, light sheet metal or roll composition on rough low-grade sheathing.

Characteristics...Open on one side

Roof . . . . . Light sheet metal, composition board or roll composition on rough low-grade sheathing.



Square Foot Rates	
Area	Rates
100-1,000	\$4.62
1,200	\$4.53
1,500	\$4.37
2,000	\$4.18
2,500	\$4.08
3,000	\$4.00
4,000	\$3.91

## **POULTRY HOUSES**

It is recommended that poultry houses be depreciated on a straight line basis at a rate of 5% per year. For as long as the structure remains usable and in production, net depreciation (percent good) should not be less than 40%.

Due to the consistency of construction costs of poultry houses among various locations, a 1.00 index shall be used when valuing all poultry houses and compost buildings. All poultry schedules will be updated periodically to account for inflation in construction costs.

Beginning with land roll 2009 there are only three classes of poultry houses. Poultry houses will be classed into only three groups. The classes are B-74 (conventional poultry houses), B-75 (Broiler and pullet cool-celled or tunnel ventilation houses) and B-76 (Breeder and/or egg houses). Starting with land roll 2009, a 45% adjustment for economic obsolescence shall be used on the B-74, B-75, and B-76 poultry houses.

An example is:

The B-74 rate of \$4.84 X 55% = \$2.66 the adjusted square foot rate to be used.

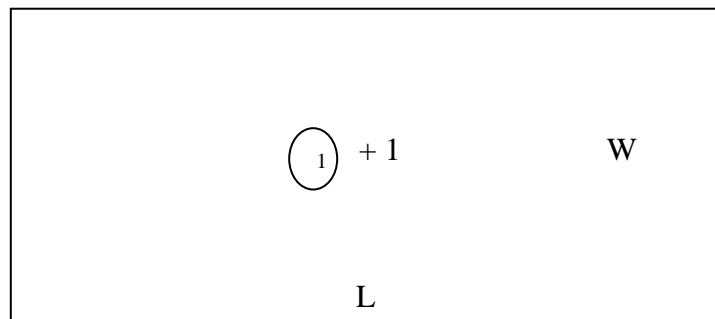
Note: A 1.00 index must be used on all poultry rates.



B-71A  
Specifications  
Poultry Compost Building

Poultry production compost houses can range in size, depending on the number of poultry houses they support. They are used for a combination of compost storage and as dry stack sheds for litter. Two sides are normally enclosed from the ground level to halfway up the sides, with 2" X 6" treated lumber, and the buildings have concrete floors in the first stage compost area.

The cost per square foot is \$5.13.

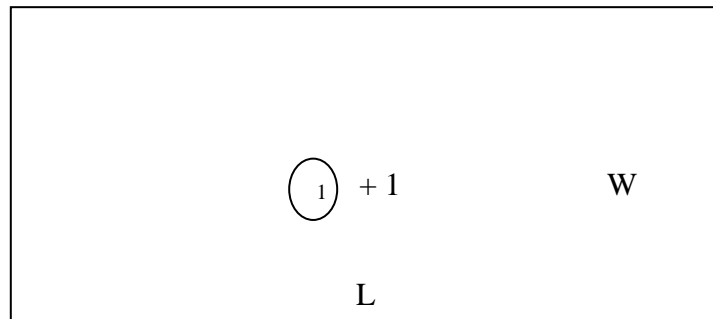






B-74  
Specifications  
Conventional Poultry House

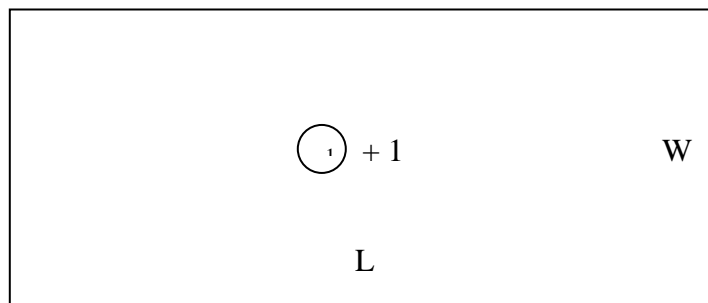
The cost below is for poultry houses designed to maximize poultry production. The cost includes a 6" thick concrete perimeter foundation, light pre-fabricated steel framing, and/or wood framing. The square foot cost for the basic broiler house, as described above, is \$4.84 per square foot. Most poultry houses in this category were built prior to 1995.





B-75  
Specifications  
Broiler and/or Pullet House

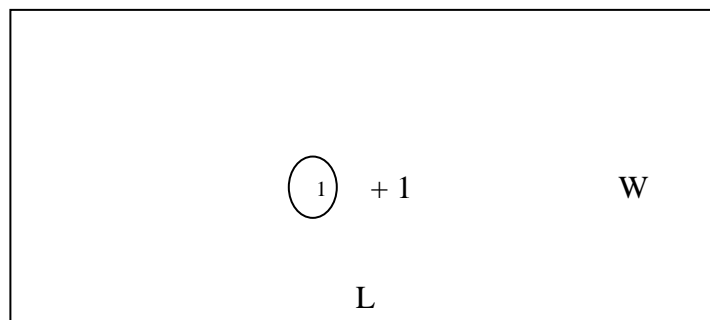
The cost below is for the newer designed poultry houses that maximize poultry production. The cost includes a 6" thick concrete perimeter foundation, light pre-fabricated steel framing, and/or wood framing. This class is for broiler and pullet cool-celled or tunnel ventilation houses. The cost per square foot is \$8.96.





B-76  
Specifications  
Breeder and/or Egg Production House

The cost below is for poultry houses designed for breeder and/or egg production. The cost includes a 6" thick concrete perimeter foundation, light pre-fabricated steel framing and/or wood framing, metal siding and roofing. In addition to the basic building above, the breeder house includes cost for a wood frame work area with finished ceiling located at one end of the building. The work area is for egg collection and storage, and includes an egg room which is climate controlled with a finished ceiling. The work area and egg room have concrete floors. Cost per square foot is \$9.82.





### **Breeding and Gestation Building**

**B-77**

#### **Base Replacement Cost for Swine Production Facilities**

The cost schedules shown on the next page are for large, modern swine production facilities. Personal property in these facilities includes machinery, equipment, furniture, fixtures, tanks, bins, hoppers, conveyers, and the woven wire flooring slats which are found in nursery buildings. Concrete flooring slats, baffles, and other items located at or below grade are included with real property.

The buildings which house these operations rest on a 12" to 16" deep concrete recharge pit equipped with preformed concrete baffles for the disposal of waste. The foundation is a concrete perimeter wall, and the floors are comprised of precast concrete slatted sections to provide for drainage. The buildings may be either wood or steel frame with gable roof and galvanized metal siding and roofing. Ceilings are of painted metal with six inches of blown in insulation above.

Breeding, gestation and farrowing buildings house the animals from the breeding through birthing stages. Nursery buildings house small, weaned pigs for approximately seven weeks. Topping floors, also called "finishing houses", "grow-out houses", or "fattening floors" house the animals until they are ready for market. (These are light weight buildings with a 4" thick foundation wall and 2" x 4" exposed wall studs, 24" center. The buildings have no exterior siding.)

<b>Breeding, Gestation, and Farrowing Buildings</b>	<b>Nursery Buildings</b>	<b>Topping Floors</b>	<b>Isolation Buildings</b>
15,000 and under \$11.35	2,000 and under \$32.82	3,000 - 3,099 \$9.43	1,000 and under \$13.72
17,500 10.84	2,100 - 2,199 32.31	3,100 - 3,199 9.37	1,001 - 1,100 13.38
20,000 10.89	2,200 - 2,299 31.95	3,200 - 3,299 9.24	1,101 - 1,200 13.24
22,500 10.76	2,300 - 2,399 31.57	3,300 - 3,399 9.16	1,201 - 1,300 12.87
25,000 10.63	2,400 - 2,499 31.42	3,400 - 3,499 9.10	1,301 - 1,400 12.65
27,500 10.53	2,500 - 2,599 31.27	3,500 - 3,599 9.04	1,401 - 1,500 12.47
30,000 10.46	2,600 - 2,699 31.12	3,600 - 3,699 8.99	1,501 - 1,600 12.30
32,500 10.39	2,700 - 2,799 30.72	3,700 - 3,799 8.93	1,601 - 1,700 12.13
35,000 10.36	2,800 - 2,899 30.13	3,800 - 3,899 8.88	1,701 - 1,800 11.99
37,500 10.28	2,900 - 2,999 30.07	3,900 - 3,999 8.83	1,801 - 1,900 11.85
40,000 10.24	3,000 - 3,199 29.92	4,000 - 4,099 8.79	1,901 - 2,000 11.72
42,500 10.20	3,200 - 3,399 29.86	4,100 - 4,199 8.73	2,001 - 2,100 11.59
45,000 10.17	3,400 - 3,599 29.40	4,200 - 4,299 8.70	2,101 - 2,200 11.48
47,500 10.14	3,600 - 3,799 29.19	4,300 - 4,399 8.68	2,201 - 2,300 11.37
50,000 and over 10.10	3,800 - 3,999 28.96	4,400 - 4,499 8.65	2,301 - 2,400 11.26
	4,000 - 4,199 28.77	4,500 - 4,599 8.61	2,401 - 2,500 11.16
	4,200 - 4,399 28.62	4,600 - 4,799 8.56	2,501 - 2,600 11.06
	4,400 - 4,599 28.47	4,800 - 4,999 8.49	2,601 - 2,700 10.97
	4,600 - 4,799 28.31	5,000 - 5,199 8.46	2,701 - 2,800 10.87
	4,800 - 4,999 28.15	5,200 - 5,399 8.42	2,801 - 2,900 10.78
	5,000 - 5,499 27.78	5,400 - 5,599 8.37	2,901 - 3,000 10.69
	5,500 - 5,999 27.66	5,600 - 5,999 8.29	3,001 - 3,100 10.60
	6,000 - 6,499 27.28	6,000 - 6,399 8.27	3,101 - 3,200 10.51
	6,500 - 6,999 27.09	6,400 - 6,799 8.19	3,201 - 3,300 10.42
	7,000 - 7,499 27.07	6,800 - 7,199 8.20	3,301 - 3,400 10.33
	7,500 - 7,999 26.93	7,200 - 7,599 8.14	3,401 - 3,500 10.25
	8,000 - 8,499 26.80	7,600 - 7,999 8.08	3,501 - 3,600 10.18
	8,500 - 8,999 26.56	8,000 - 8,499 8.04	3,601 - 3,700 10.10
	9,000 - 9,499 26.59	8,500 - 8,999 7.99	3,701 - 3,800 10.03
	9,500 - 9,999 26.48	9,000 - 9,399 7.96	3,801 - 3,900 9.96
	10,000 and over 26.00	9,400 - 9,799 7.76	3,901 and over 9.89
		9,800 and over 7.67	

Note: If nursery operations are included in conjunction with one or more of the above operations, woven wire flooring slats will be present in the nursery section(s). Concrete slatted flooring must be deducted for those areas at a rate of \$2.00 per square foot.

Note: Classify and calculate break room buildings as Class H/D. Depreciation for swine production facilities is recommended at 3.5% per year (normal condition). Photographs of the nursery, topping floor, isolation building, and break room are on the following pages.





**NURSERY**



**TOPPING FLOORS**



**ISOLATION BUILDINGS**



**BREAK ROOM**

V-43